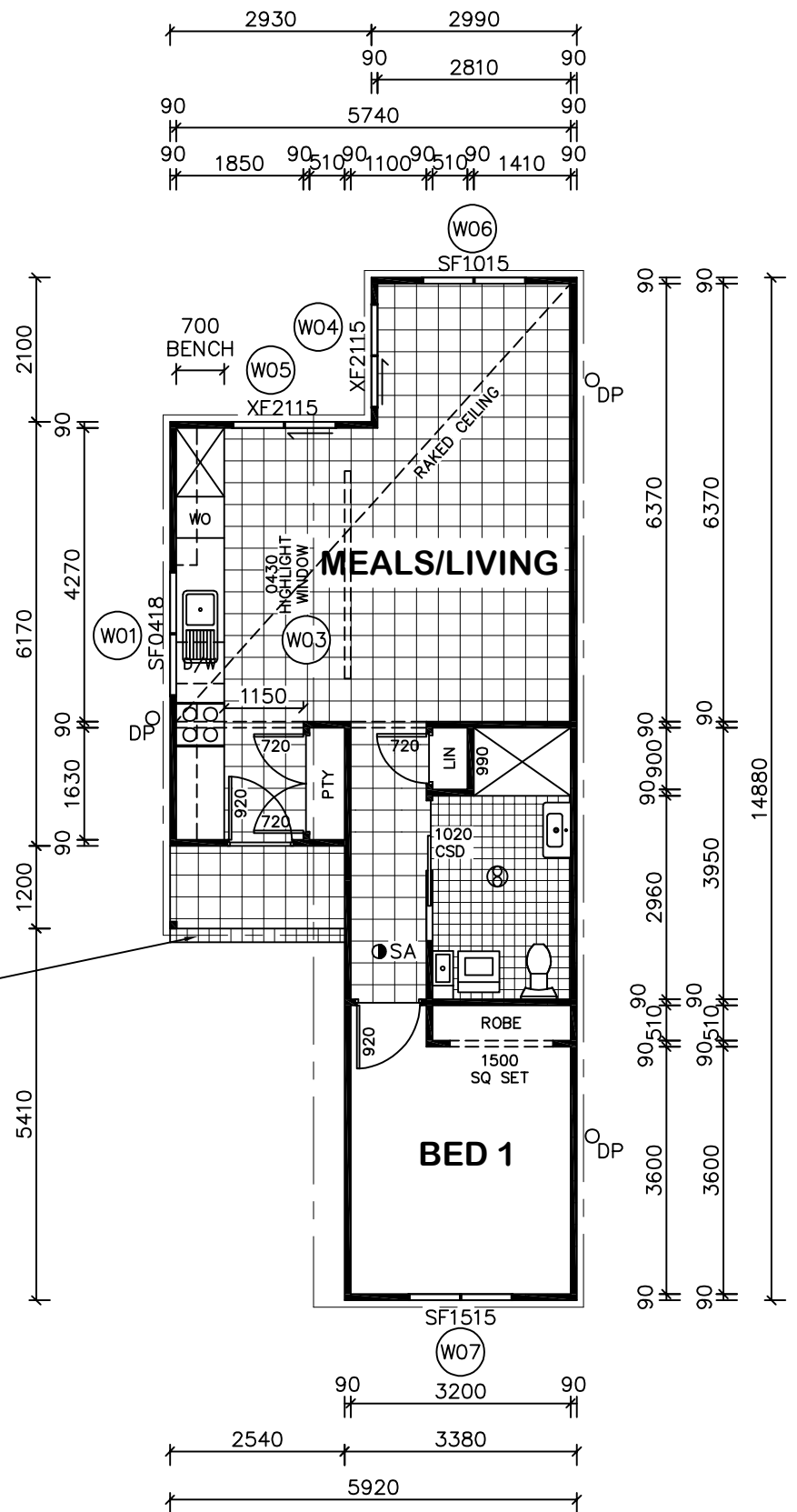
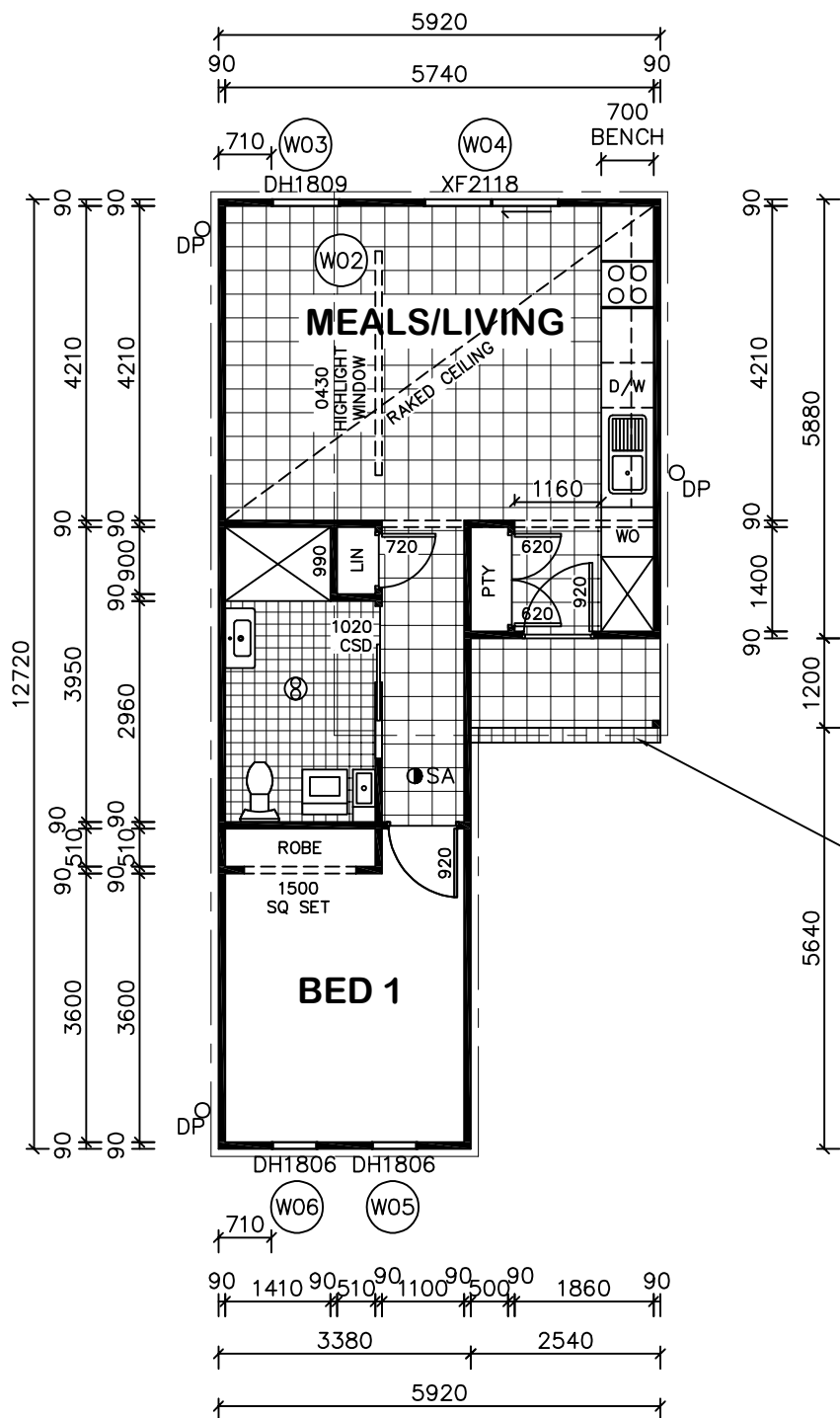




DWELLING A	
LIVING	57.93
PATIO	3.05
<hr/>	
TOTAL	60.98 sq.m (6.56 sq.)

DWELLING B	
LIVING	65.15
PATIO	3.05
<hr/>	
TOTAL	68.20 sq.m. (7.34 sq.)



- SA SMOKE ALARM
- ⊗ EXHAUST FAN

*** NOTE: EXTERNAL LIGHTING**
ALL EXTERNAL LIGHT FITTINGS ARE TO BE SHIELDED.
I.E. DOES NOT PERMIT LIGHT TO SHINE ABOVE THE HORIZONTAL PLANE.

*** ALL DIMENSIONS ARE TO BE CONFIRMED BY THE BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. BUILDING SET OUT & SITE BOUNDARY DETAILS TO BE CONFIRMED BY A REGISTERED SURVEYOR. ALL WORK TO BE CARRIED OUT TO RELEVANT STANDARDS AND BUILDING CODES.**

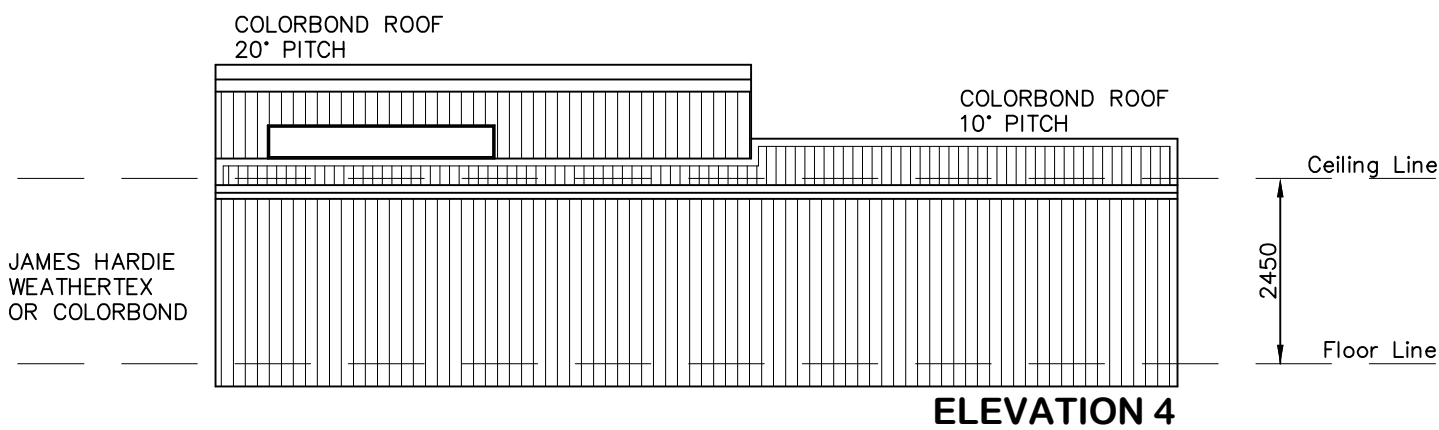
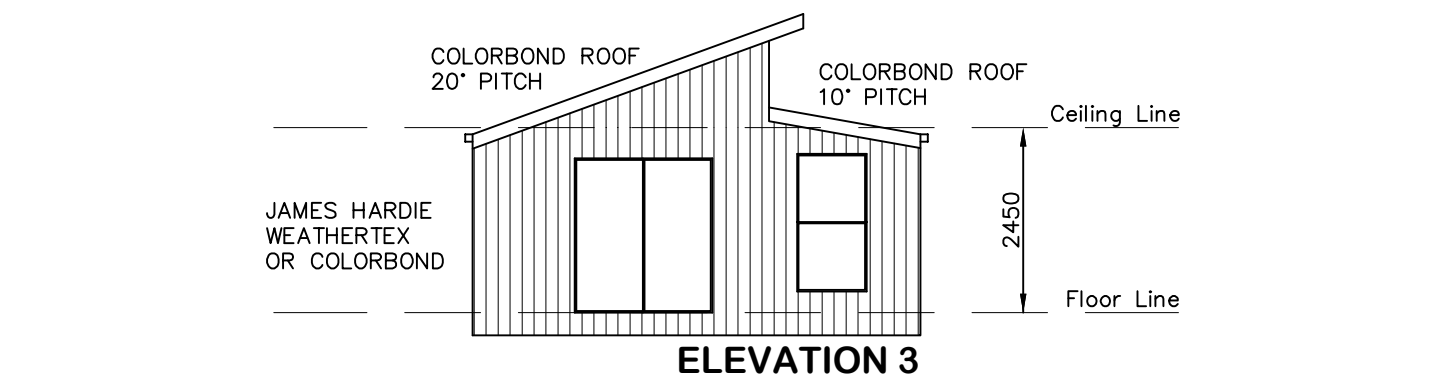
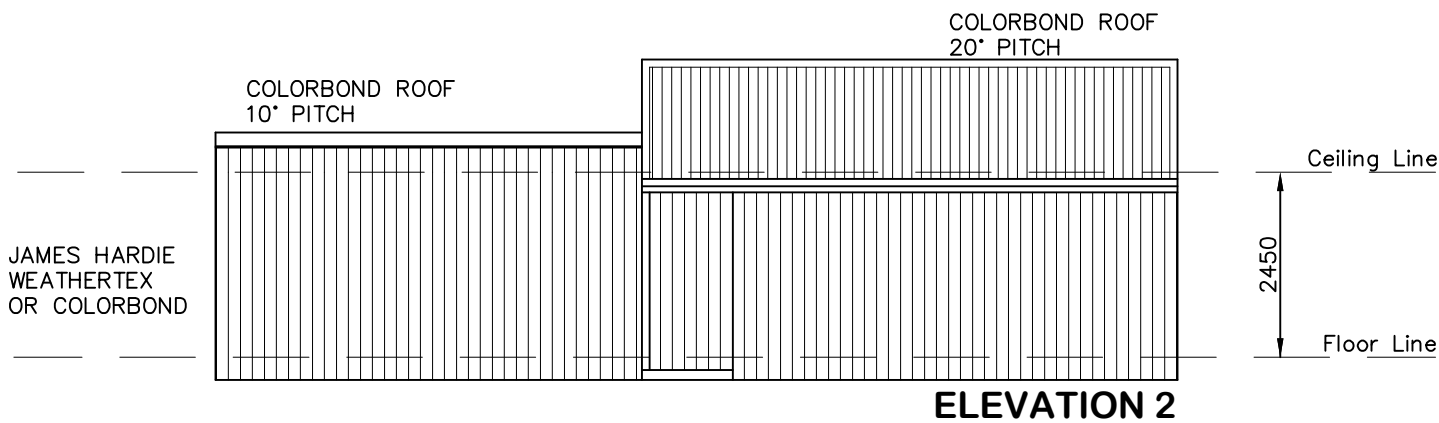
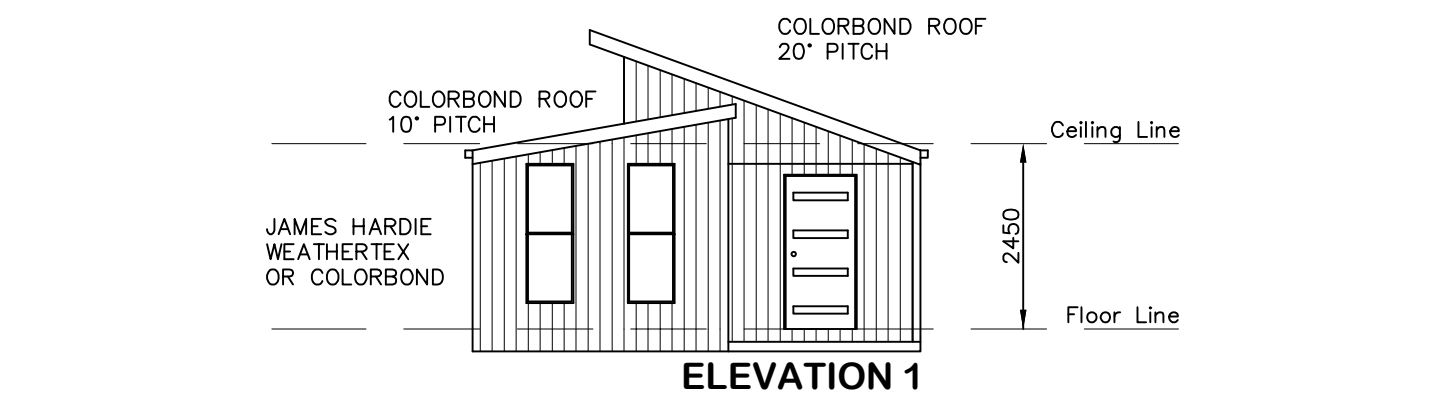
WINDOWS WILL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 8.2.

WET AREAS WILL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.2.

CONDENSATION MANAGEMENT WILL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.

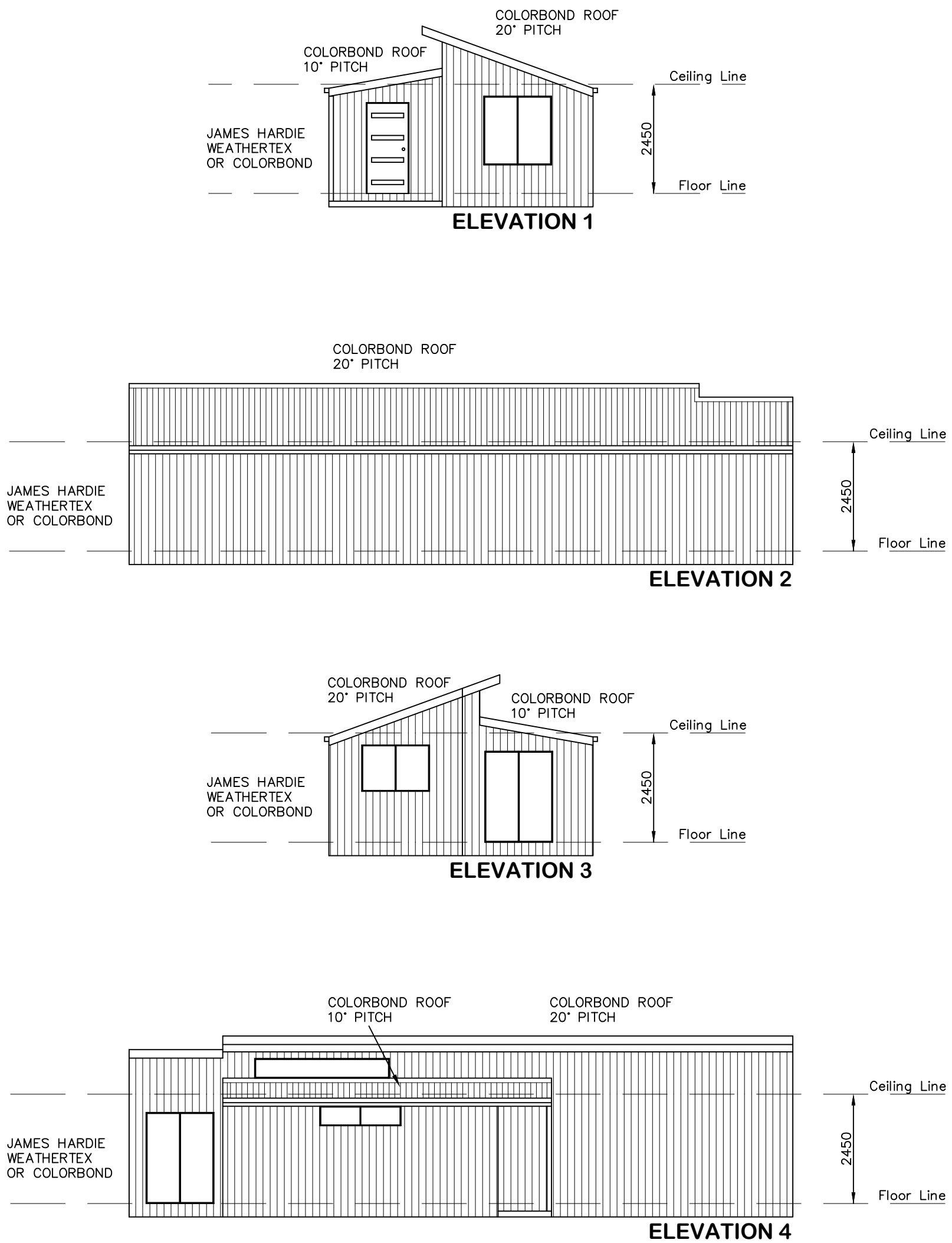
STAIRS AND STAIR TREADS WILL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 11.2.

EXHAUST SYSTEMS THROUGHOUT DWELLING WILL BE INSTALLED IN ACCORDANCE WITH ABCB HOUSING PROVISIONS PART 10.8.

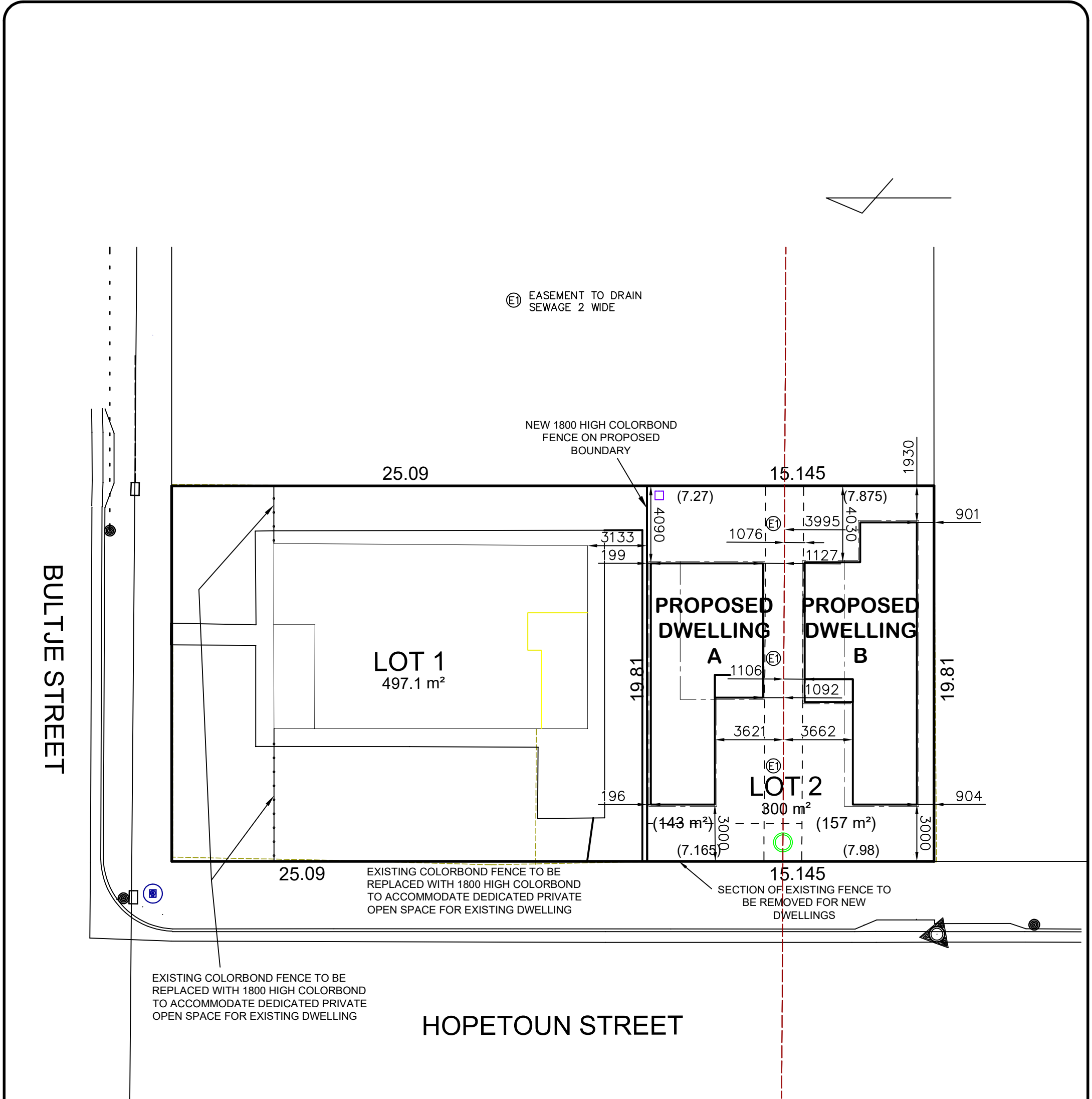


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DATE: 23.10.24	SCALE: 1:100 (A3)	DRAWN: NT	DRAWING: ELEVATIONS - DWELLING A 111 BULTJE STREET, DUBBO ELIZA WHITELEY	<div><div>Certificate No. 0009765270</div><div>Assessor name Daniel Lowe</div><div>Accreditation No. HERA10030</div><div>Property Address 111 Bultje Street, Dubbo NSW, 2830</div><div>NSW</div><div>2024-10-23</div></div>	<div><div><div></div></div><div>AVALON DRAFTING</div><div>2/2 Blueridge Drive Dubbo NSW 2830</div><div>Ph: (02) 6885 3594 / Mob: 0408 296 502</div></div>
SHEET: 2 / 7	JOB No: 23199	ISSUE: H			



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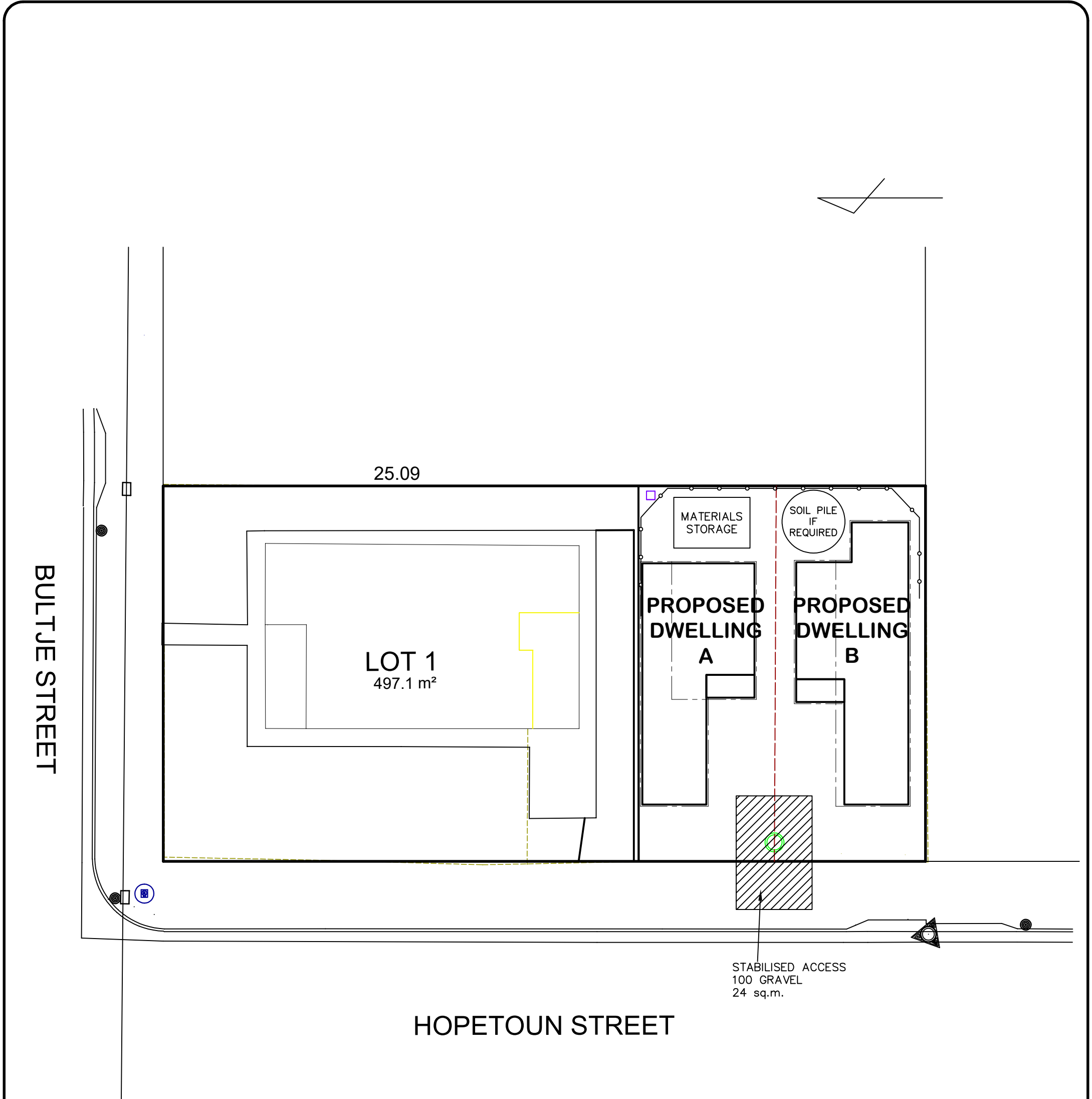
* ALL SURFACE LEVELS AND FEATURE LOCATIONS ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION

* THE PROPOSED RESIDENCE SLAB IS TO BE CONSTRUCTED ON A LEVEL BUILDING PAD PREPARED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S SPECIFICATIONS. THE MAIN FINISHED FLOOR LEVEL IS TO BE SET MINIMUM 300mm ABOVE THE CONSTRUCTION PAD LEVEL. FINISHED SURFACE LEVELS ARE TO GRADE AWAY FROM THE BUILDING PERIMETER TO PREVENT WATER PONDING NEAR EXTERNAL WALLS WITHOUT BEING DETRIMENTAL TO NEIGHBOURING PROPERTIES. THE BUILDER IS TO CONFIRM AVAILABLE FALLS TO SEWER CONNECTION POINTS & STORMWATER DISCHARGE POINTS PRIOR TO ESTABLISHING THE BUILDING FINISHED FLOOR LEVEL.

DATE: 23.10.24	SCALE: 1:200 (A3)	DRAWN: NT
SHEET: 4 / 7	JOB No: 23199	ISSUE: H

DRAWING:
SITE PLAN
111 BULTJE STREET, DUBBO
ELIZA WHITELEY





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NOTES:

1. ALL RUNOFF & SEDIMENT CONTROL STRUCTURES TO BE MAINTAINED IN A FUNCTIONAL CONDITION.
2. ALL VEGETATION OUTSIDE THE DWELLING WILL BE RETAINED.

—○—○—○— SEDIMENT FENCE

DATE: 23.10.24	SCALE: 1:200 (A3)	DRAWN: NT
SHEET: 5 / 7	JOB No: 23199	ISSUE: H

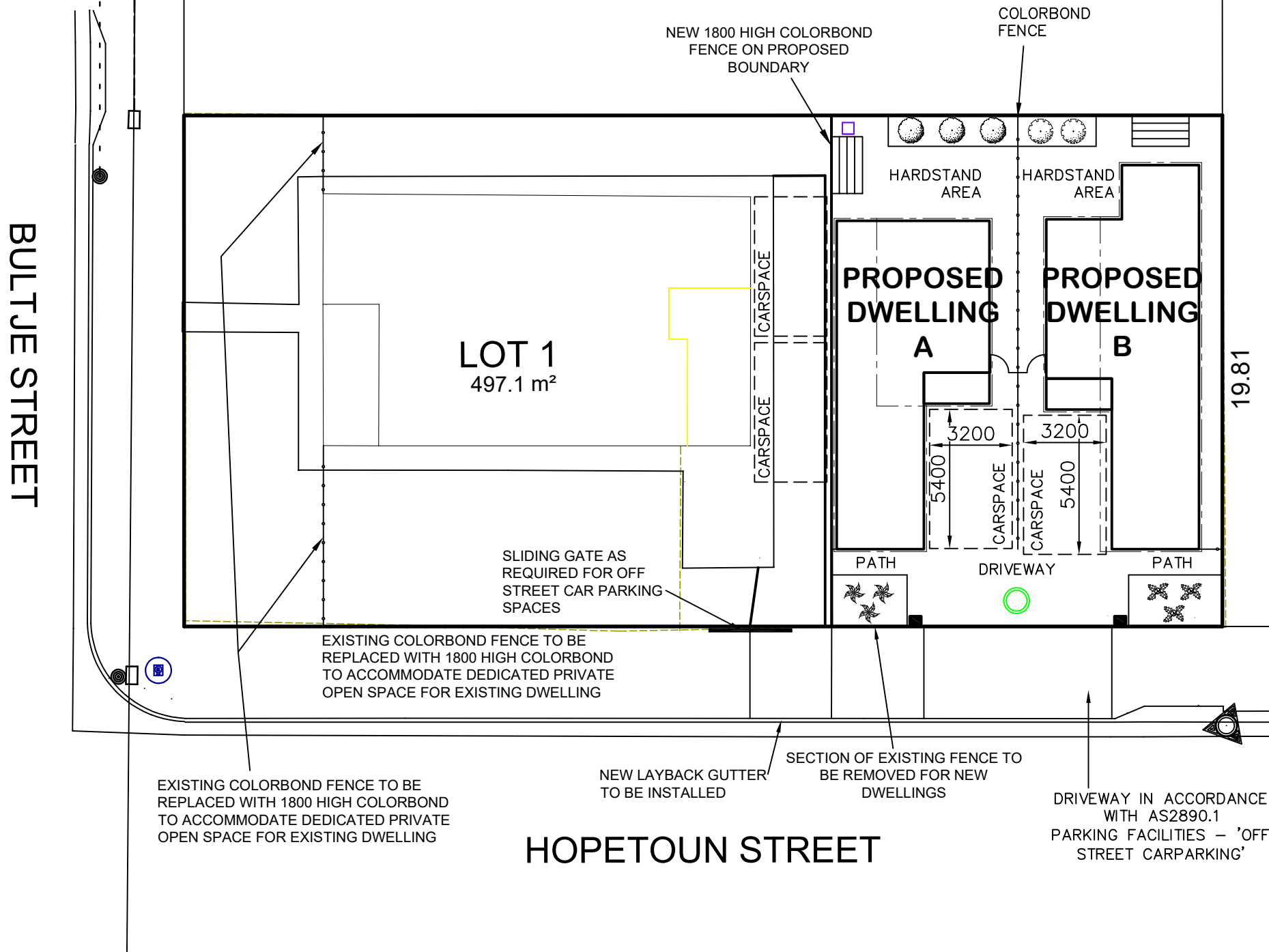
DRAWING:
EROSION & SEDIMENT CONTROL PLAN
111 BULTJE STREET, DUBBO
ELIZA WHITELEY



- NOTES
- ALL GARDEN BEDS MULCHED WITH 50MM THICKNESS OF SELECTED BARK CHIPS.
 - AREAS NOT DESIGNATED AS GARDEN OR HARDSTAND ARE TO BE TURFED AS NOTED

LANDSCAPING MAINTENANCE AND ESTABLISHMENT

- WATER UNTIL ESTABLISHED. MULCH AND APPLY SLOW RELEASE FERTILISER IN SPRING. MAINTENANCE TO BE OWNERS RESPONSIBILITY AFTER PRACTICAL COMPLETION.



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Plant Schedule table		ht	spread
	Westringia zena	2m	2m
	Photinia robusta	3m	2m
	Nandina obsession	0.6m	0.6m
	Lomandra tanika	0.6m	0.6m

CLOTHESLINE

LETTER BOX LOCATION TO BE CONFIRMED ON SITE

DATE:
23.10.24

SCALE:
1:200 (A3)

DRAWN:
NT

DRAWING:
BASIX COMMITMENTS PLAN
111 BULTJE STREET, DUBBO
ELIZA WHITELEY

SHEET:
6 / 7

JOB No:
23199

ISSUE:
H



AVALON DRAFTING
2/2 Blueridge Drive Dubbo NSW 2830
Ph: (02) 6885 3594 / Mob: 0408 296 502

BASIX COMMITMENTS A	
WATER COMMITMENTS LANDSCAPE AREA LOW WATER USE SPECIES OF VEGETATION FIXTURES SHOWER HEAD RATING TOILET FLUSHING SYSTEM RATING KITCHEN TAPS BASIN TAPS	12 SQ.M. MIN RATING 4 STAR 4 STAR 5 STAR 5 STAR
ENERGY COMMITMENTS HOT WATER SYSTEM COOLING SYSTEM HEATING SYSTEM VENTILATION BATHROOM KITCHEN LAUNDRY	GAS INSTANTANEOUS – 5 STAR REVERSE CYCLE: EER 3.0–3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS REVERSE CYCLE: EER 3.0–3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF
NATURAL LIGHTING KITCHEN BATHROOMS/TOILETS	WINDOW WINDOW x 1
APPLIANCES KITCHEN REFRIGERATOR SPACE CLOTHES DRYING	OUTDOOR CLOTHES DRYING LINE

These are the specifications upon which the Basix assessment is based. These specifications take precedence over the drawings or other specifications.

BASIX COMMITMENTS B	
WATER COMMITMENTS LANDSCAPE AREA LOW WATER USE SPECIES OF VEGETATION FIXTURES SHOWER HEAD RATING TOILET FLUSHING SYSTEM RATING KITCHEN TAPS BASIN TAPS	11 SQ.M. MIN RATING 4 STAR 4 STAR 5 STAR 5 STAR
ENERGY COMMITMENTS HOT WATER SYSTEM COOLING SYSTEM HEATING SYSTEM VENTILATION BATHROOM KITCHEN LAUNDRY	GAS INSTANTANEOUS – 5 STAR REVERSE CYCLE: EER 3.0–3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS REVERSE CYCLE: EER 3.0–3.5 WITH DAY/NIGHT ZONING BETWEEN LIVING/BED AREAS EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF EXTRACT FAN DUCTED TO ROOF OR FACADE – MANUAL ON/OFF
NATURAL LIGHTING KITCHEN BATHROOMS/TOILETS	WINDOW WINDOW x 1
APPLIANCES KITCHEN REFRIGERATOR SPACE CLOTHES DRYING	OUTDOOR CLOTHES DRYING LINE

These are the specifications upon which the Basix assessment is based. These specifications take precedence over the drawings or other specifications.



443 Dinjerra Road, Glenugie NSW 2460
PH: 0435 054 933
Email: Daniel.Lowe@enewergy.com.au
Web: www.enewergy.com.au

Nathers Thermal Performance assessments using BERS Pro Plus v4.4 & V5.0 Software
Commercial Buildings: Section 7 DTS 1406 & 1113 Compliance Reports: Residential (deemed to Satisfy NCC 3.12
BASIX Certificates (NSW Energy and Water Efficiency) – Residential Whole of Home Certificates (WOH)

REQUIREMENTS FOR NSW 7 NATHERS (NCC-2022) 2

DATE	13/09/2024
ADDRESS	111 Bultje Street Dubbo NSW 2830
DP #	78C
CLIMATE ZONE	4B
WIND SHIELDING	SUBURBAN
COMPANY	Eliza Whiteley c/o Avalon Drafting

- DWA Proposed Insulation:**
- Framing Material: Timber
 - Roof colour: Light (Solar absorbance <0.475)
 - Roof: Sarking under
 - Ceilings (includes eaves/verandahs etc): R4.0 Main Ceiling, 2R2.SHD edge batts
 - External wall material: FC Sheet
 - External wall colour: Medium (Solar absorbance 0.475 < S4 < 0.70)
 - External walls: R2.SHD + Vapour permeable foil
 - Internal walls: Nil
 - Waffle pod slab: 300mm

DWA Proposed Windows: *If alternative Glazing used to that modelled below, equal or lower U values & SHGC to be within 5% required

Sliding Door
3.8 m² BRD-020-009-001 BRADNAMS Uval 4.46 SHGC 0.63
Glass 4EA Frame Aluminium Sliding Door SG

Double Hung Windows
3.8 m² BRD-024-004-001 BRADNAMS Uval 4.45 SHGC 0.62
Glass 4EA Frame Aluminium Double Hung Window SG

Fixed Clerestory Window
1.2 m² BRD-041-002-001 BRADNAMS Uval 4.3 SHGC 0.62
Glass 4EA Frame Aluminium Fixed Window SG

- DWA Floor Coverings:**
- Kitchen, Living, Meals, Entry, Hall: Ceramic Tiles
 - Bedroom: Carpet + Rubber Underlay

- DWA Ceiling Fans:** (swept area modelled as 900mm when size not provided)
- Nil modelled



ENEWERGY Thermal Performance assessments

Page 1 of 3

- DWB Proposed Insulation:**
- Framing Material: Timber
 - Roof colour: Light (Solar absorbance <0.475)
 - Roof: Sarking under
 - Ceilings (includes eaves/verandahs etc): R4.0 Main Ceiling, 2R2.SHD edge batts
 - External wall material: FC Sheet
 - External wall colour: Medium (Solar absorbance 0.475 < S4 < 0.70)
 - External walls: R2.SHD + Vapour permeable foil
 - Internal walls: Nil
 - Waffle pod slab: 300mm

DWB Proposed Windows: *If alternative Glazing used to that modelled below, equal or lower U values & SHGC to be within 5% required

Sliding Doors
6.3 m² BRD-020-009-001 BRADNAMS Uval 4.46 SHGC 0.63
Glass 4EA Frame Aluminium Sliding Door SG

Sliding Windows
4.5 m² BRD-001-013-001 BRADNAMS Uval 4.57 SHGC 0.63
Glass 4EA Frame Aluminium Sliding Window SG

Fixed Clerestory Window
1.2 m² BRD-041-002-001 BRADNAMS Uval 4.3 SHGC 0.62
Glass 4EA Frame Aluminium Fixed Window SG

- DWB Floor Coverings:**
- Kitchen, Living, Meals, Entry, Hall: Ceramic Tiles
 - Bedroom: Carpet + Rubber Underlay

- DWB Ceiling Fans:** (swept area modelled as 900mm when size not provided)
- Nil modelled

Ceiling Penetrations:
Allowance for ceiling penetrations for recessed LED downlights, exhaust fans and flues has been made as per the electrical plan. If there is no lighting plan the certificate will state clearly that the dwelling has been rated without downlights and clients need to know that the dwelling will need to be rated again if these features are present – assessors should price return jobs accordingly.
This adheres to BCA requirements for Ceiling penetration report. BCA 3.12.1. *modelled as per tech notes *

- Building sealing requirements:**
- All exhaust fans to be fitted with dampers as per NCC.
 - External doors to be weather striped and windows to comply with AS 2047.
 - All gaps from service penetrations etc are to be sealed. As should internal doors to garage.
 - All chimneys and flues to have dampers as per BCA requirements 3.12.3.1.

ABCB NATHERS Heating & Cooling Load Limits ABCB Standard 2022.

CLIMATE ZONE # 4B	BASIX TARGETS CSOG	DWA	DWB
NATHERS Star Rating Score	≥7.0 STARS	7.0 STARS	7.1 STARS
Cooling Loads W/m² annum	≤31.5	27.5	26.2
Heating Loads W/m² annum	≤72.5	51.0	50.7
Adjusted Total	≤79.0	78.5	76.9



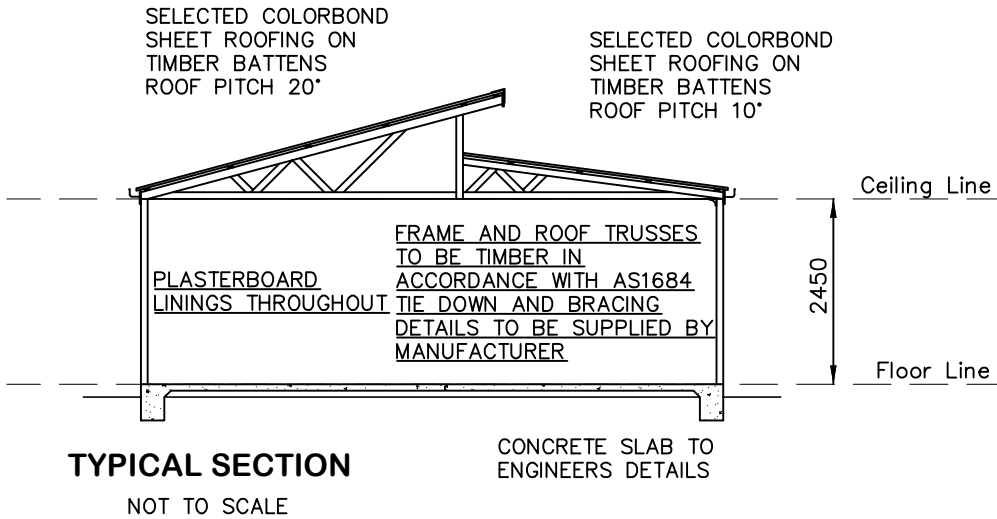
ENEWERGY Thermal Performance assessments

Page 2 of 3

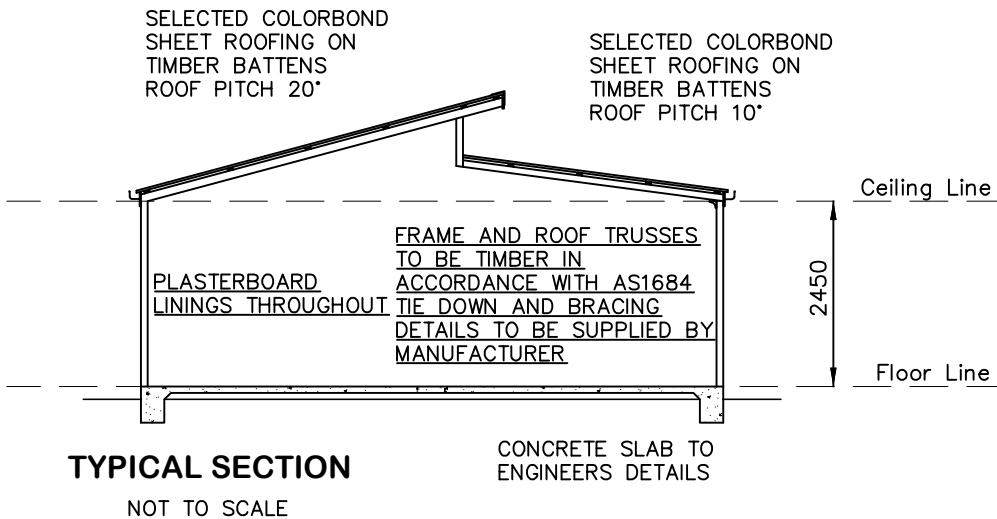
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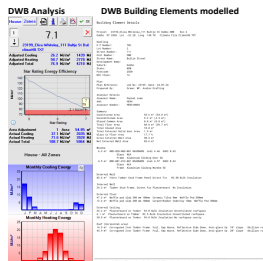
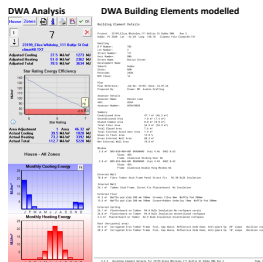
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* NOTE – WIND CLASSIFICATION TO BE N2



* NOTE – WIND CLASSIFICATION TO BE N2



Office Use Only	
BASIX REFERENCE #	By others
BERS PRO VS RUIN DWA	Run 2
BERS PRO VS RUIN DWB	Run 2

ENEWERGY Thermal Performance assessments

Page 3 of 3

DATE:
23.10.24

SCALE:
N / A

DRAWN:
NT

DRAWING:
BASIX COMMITMENTS & TYP SECTION
111 BULTJE STREET, DUBBO
ELIZA WHITELEY

SHEET:
7 / 7

JOB No:
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ISSUE:
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